

Extensions and Alterations to Dwellings

Supplementary Planning Document

Adopted February 2011



STOCKPORT
METROPOLITAN BOROUGH COUNCIL

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1 Introduction

1.1 Purpose

The overall purpose of producing the Extensions and Alterations to Dwellings SPD is to:

- Provide applicants for planning permission with a clear indication of the Council's expectations; and

- Help the Development Management Service make consistent decisions on planning applications in relation to Extensions and Alterations to existing residential properties.

This SPD will supplement the national framework of planning policy and guidance; support the saved policies of the adopted UDP Review, particularly Policy CDH1.1: New Residential Development in Predominantly Residential Areas, Policy CDH 1.8: Residential Extensions and Policy DCD1.1: Design Principles; and update current Council guidance on Extensions and Alterations to Dwellings. In addition it will have regard to the emerging Local Development Framework.

1.2 Status

This guide has been adopted by the Council as a Supplementary Planning Document. This means that it both supports and reinforces the saved policies of the adopted Unitary Development Plan (UDP) Review (available at www.stockport.gov.uk/udp) and has regard to the emerging Local Development Framework.

The SPD is an important material consideration in the determination of a planning application and the defence of the Council's decision when an applicant makes an appeal against this decision.

The SPD has been the subject of a six week long statutory period of public consultation and is in conformity with the government's guidance regarding consultation on SPDs.

2 Key Objectives of the SPD

2 Key Objectives of the SPD

The aim of the proposed SPD is to achieve appropriately designed extensions to residential properties. From this aim three key objectives have been established:

Provide guidance on good design principles and practise to help promote high quality inclusive design that positively contributes to the character of an area whilst preserving the residential amenity of neighbouring properties.

Provide clear and accessible guidance on what the Council will take into account and require when considering Householder applications; and

Improve the quality of householder submissions in order to achieve better quality development and quicker decisions for the benefit of all.

3 Help and Advice before submitting an Application

3.1 Are you thinking of extending your home?

If so, this document will advise you about the main points to consider. It will help you find out whether you need to apply for planning permission and how to make an application. Primarily, it will help you design an extension which meets your requirements and enhances your property but does not unacceptably impact upon your neighbours, the general public or the character of the area in which you live.

Even though planning permission may not be required for your particular extension, there is no reason why you should not follow the guidance in this document. A well designed extension is unlikely to cost more to build than one which is poorly designed and a well designed extension will be more attractive and can add greater value to your property.

3.2 Who is this guidance for?

This guidance has been drawn up to help the general public and their professional advisers, to design extensions which complement properties without detracting from the amenity of neighbours or undermining the quality of the local environment.

The guidance will be used by planning officers to assess the acceptability of house extensions and ensure that this is done consistently.

3.3 Do I need planning permission?

The government has already granted permission to carry out certain works without having to apply for permission and many extensions can be constructed without reference to the planning authority. This permission is known as **"Permitted Development"** and what may be built and where can change from time to time. An interactive guide showing the things you can do without making an application is available online at <http://www.planningportal.gov.uk>

You should note that controls are more restrictive within Conservation Areas and in many cases, to ensure that the special character of those areas is conserved, selected Permitted Development rights have been withdrawn by an Article 4 Direction. Information regarding Article 4 directions is available on the Council's website, however if you require specific advice regarding what requires permission then you should contact the Planning Services / Conservation Team.

Even outside Conservation Areas, permitted development rights may also have been withdrawn when planning permission was originally granted to build your house. You may be able to find out whether this is the case by referring to the property deeds but, if in doubt, the Planning Officer will be able to advise.

3.4 Are you able to tell me whether permission is required?

Planning officers will offer you whatever advice they are able to give but the extent of this advice will depend upon how much information you provide about what you are proposing and where. A scale drawing illustrating your proposal is likely to result in a more meaningful response but advice can be offered on an informal basis only. Please bear in mind that a planning officer is not in a position to confirm whether or not permission will be required, either in writing or verbally.

3 Help and Advice before submitting an Application

Should you require written confirmation as to whether any particular proposal requires permission, you may apply for a Certificate of Lawful Development. The planning officer will explain how to go about this and what information you will need to submit. If permission is not required, you will receive a formal certificate confirming this.

You may find such a certificate useful should you decide to sell your property and the purchaser asks for confirmation that a particular extension does not require permission. Although a Certificate of Lawful Development can be applied after development takes place, the delay involved, whilst selling your property, may prove inconvenient.

3.5 How do I apply for permission?

Once you have decided what you would like to do and that permission will be required for this, the next step will be for you to make an application. You will need to submit scaled drawings, application forms, a submission fee and complete a "Validation Checklist". Completing the checklist will help ensure that the information you submit is adequate for the application to be considered. It is also possible to make your application on line.

For further information, see ["how to apply for planning permission"](#) on the Planning & Building pages of the Council website.

The validation checklist for householder development is available at 'Appendix C - Validation Checklist' of this document.

3.6 Do I need to notify my neighbours?

Unless the foundations of your extension would go under your neighbours land or part of the extension would project over their property; e.g. eaves or gutters, there is no need for you to inform your neighbours before submitting an application. The planning authority, however, has a legal responsibility to notify neighbours and, as a minimum, will write to the occupiers of all properties sharing a common boundary with your own inviting them to view and comment upon your application. Any comments or objections made will be taken into account when a decision on your application is made.

Whilst you are not required to do so, you may wish to discuss your intentions with your neighbours and hopefully avoid the letter from the planning authority coming as a surprise. Discussions with your neighbours may help allay any fears your neighbours have and avoid problems later on. The earlier these discussions take place the more chance there is likely to be of modifying your proposal to a form that both you and they find acceptable.

3.7 How will the Council make a decision?

The majority of decisions to either grant or refuse planning permission for house extensions are taken by Council Officers and are known as "*Delegated Decisions*". Some applications are decided by a Committee of elected Councillors but this is usually only where there is either a significant level of objection from neighbours or a Local Councillor has "called up" the application for Committee consideration. If your application is to be considered by a Committee, the planning authority will write to you explaining the process and you will be invited to attend.

Whilst the views expressed by the public (usually your neighbours) must be taken into account, all applications must be determined in accordance with the Development Plan. Those development plan policies likely to be of relevance are set out below and the guidance contained in this document has been drawn up to assist in the interpretation of these policies.

The planning officer will assess your proposal, if necessary consulting other people within and outside the Council, and consider whether it meets current policy requirements and complies with this guidance. Any views expressed by third parties will also be considered to see whether they carry sufficient weight to affect the decision. The planning officer's conclusions will form either the basis of the decision or a report to an appropriate Committee.

3.8 Other legislation

The Building Regulations –most building works need to comply with building regulations even if planning permission is not required. The Building Regulations set standards for the design and construction of buildings to ensure the safety and health for people in or about those buildings. They also include requirements to ensure that fuel and power is conserved and facilities are provided for people, including those with disabilities, to access and move around inside buildings. For further information please see the Building Control section on the Council's website.

The Party Wall Act 1996 - provides a framework for preventing and resolving disputes in relation to party walls, boundary walls and excavations near neighbouring buildings. The Act covers (i) work that is going to be carried out directly to an existing party wall or structure (ii) new building at or astride the boundary line between properties and (iii) excavation within 3 or 6 metres of a neighbouring buildings or structures, depending on the depth of the hole or proposed foundations.

A (downloadable) booklet is available from the Communities and Local Government website which includes sample letters with which to serve notice on affected neighbours. Please note that the legislation is enforced by the courts and not the local planning authority.

The Highways Act 1980 - deals with alterations to the adopted highway; e.g. if your proposal involves the construction of a new pavement crossing.

The Access to Neighbouring Land Act 1992 - provides a legal means by which you may gain access to adjoining land where this is "*reasonably necessary to carry out any basic preservation works*" by obtaining a Court Order.

Covenants – Covenants or other restrictions in the Title Deeds or Lease of your home may require you to get separate consent / agreement in addition to planning permission. This is a private matter and not something the Council can get involved in, you will need to check this yourself or ask a solicitor to assist. These will not affect the need to or otherwise to obtain planning permission for any development. The granting of planning permission also would not override any covenants.

Right to Light - A right to light will come into existence if it has been enjoyed uninterrupted for 20 years or more, granted by deed, or registered under the *Rights of Light Act 1959*. You may therefore need to get the agreement of your neighbour if your extension would block light to their windows. Where a right to light is claimed, this is a matter of property law, rather than planning law. The local planning authority will have no role or interest in any private dispute arising.

4 Current Council Policies / Planning Context

The Unitary Development Plan Review adopted in May 2006 (available at www.stockport.gov.uk/udp) sets out the Council's policy in relation to residential development, against which schemes will be assessed. The key saved policies that the SPD supports and builds upon are:

Main UDP Review Policies for House Extensions

CDH1 DEVELOPMENT IN PREDOMINANTLY RESIDENTIAL AREAS

PROPOSALS FOR DEVELOPMENT IN THE PREDOMINANTLY RESIDENTIAL AREAS DEFINED ON THE PROPOSALS MAP SHOULD ADOPT HIGH STANDARDS OF DESIGN IN ORDER TO SAFEGUARD ASPECTS OF GOOD CHARACTER AND RESIDENTIAL AMENITY. NEW DEVELOPMENT WILL BE PERMITTED WHICH WOULD CONTRIBUTE TO THE CREATION AND ENHANCEMENT OF ATTRACTIVE, SAFE, ACCESSIBLE AND FUNCTIONAL LIVING ENVIRONMENTS. IN ADDITION TO HOUSING DEVELOPMENT, OTHER LAND USES WILL BE PERMITTED WHERE THEY WOULD PROVIDE LOCAL JOBS AND SERVICES WITHOUT DETRIMENT TO RESIDENTS' LIVING CONDITIONS OR THE QUALITY OF THE ENVIRONMENT.

CDH1.1 NEW RESIDENTIAL DEVELOPMENT IN PREDOMINANTLY RESIDENTIAL AREAS

New residential development in Predominantly Residential Areas , which is consistent with policy on housing phasing development and not exceeding the borough-wide housing requirement, will be permitted provided that the layout and design of the proposal:

- (i) respects the character of the particular area, as reflected in the layout, massing, scale, height, style and materials of buildings and spaces;
- (ii) makes efficient use of land, avoiding developments of less than 30 dwellings per hectare, achieving developments of at least 30-50 dwellings per hectare net and greater intensity where public transport accessibility is good;
- (iii) contributes to the achievement of an appropriate mix of dwelling types and sizes;
- (iv) provides for the safe and convenient movement of pedestrians and cyclists to and through the development, and for safe traffic movement and parking which does not detract from the appearance of the scheme;
- (v) does not constitute unsatisfactory tandem development, or piecemeal development which would sterilise the development of adjoining land with development potential;
- (vi) provides good standards of amenity, safety and privacy for future occupiers and neighbouring occupiers in existing developments;
- (vii) secures appropriate standards of landscaping and open space provision; and
- (viii) secures high standards of energy conservation and efficient usage.

CDH1.8 RESIDENTIAL EXTENSIONS

Subject to the overall requirements of Policy CDH1.1, the Council will grant permission for an extension to a residential property in the Predominantly Residential Area provided that the proposal:

- (i) complements the existing dwelling in terms of design, scale and materials and does not adversely affect the character of the street scene;
- (ii) does not cause damage to the amenity of neighbouring properties by reason of overlooking, overshadowing, visual intrusion, or loss of privacy and does not unduly deprive the property to be extended of private garden / amenity space including parking areas;
- (iii) does not prejudice similar development by the occupants of neighbouring properties.

In operating this policy the Council will have regard to the standards contained in policy CDH1.1.

Other UDP Review Policies of Relevance

For each section a list of the main UDP Review policies which the particular section supports is provided. These may include the following UDP Review policies:

Table 1 Other UDP Review policies

Policy Number	Policy Name
DCD1	Design and Character
DCD1.1	Design Principles
HC1	Conservation Areas
HC1.3	Special Control of Development in Conservation Areas
HC2	Listed Buildings
HC2.1	Development Affecting Listed Buildings
HC2.5	Development Affecting Buildings of Local Interest
GBA1	Green Belt Protection
GBA1.2	Control of Development in Green Belt
GBA1.5	Residential Development in Green Belt
TD1.4	Parking in Developments (+ Appendix 9)
TD1.6	Accessibility and the Design of Development
MW3	Energy Efficiency
NE 1	Biodiversity and Natural Conservation
NE 1.6	Species Protection
NE 2	Tree and Woodland Promotion
NE 2.1	Tree and Woodland Protection

5 General Design Principles

5.1 Character and Appearance

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

The issue of design is a highly important factor when the Council assesses proposals for extensions to a dwelling. The Council require all development to be designed to a high standard in order that it makes a positive contribution to the provision of an attractive built environment. Unsympathetically designed extensions can progressively change the character and appearance of a street or area as a whole.

The Council wishes to protect the borough's buildings and residential areas from unsympathetic changes by ensuring that new extensions are designed in context with their surroundings. This does not mean that a new extension has to exactly replicate the style and character of the existing dwelling or its locality, but it should be harmonious with what is already there.

The character of an area is reflected in the layout, massing, scale, height, style and materials of buildings and spaces.

Any extensions or alterations to a property should:

- respect the form, shape, symmetry and proportions of the existing dwelling and complement the character of the surrounding area (**DESIGN**)

- generally appear subordinate in relation to the existing dwelling in terms of massing, scale and overall appearance (**SCALE**)

- respect the architectural integrity of the existing dwelling. External materials and finishes should be durable and of good quality. They should be visually appropriate for their surroundings and sympathetic in terms of colour, texture and detail in relation to the existing dwelling (**MATERIALS**).

5 General Design Principles

5.2 Residential Amenity

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

5.2.1 Privacy and Overlooking

Neighbouring occupiers are entitled to a reasonable level of privacy, both within their homes and outside in their private gardens. In determining planning applications, the Council will ensure that new extensions do not impose an unacceptable loss of privacy on the occupants of neighbouring dwellings.

An unreasonable loss of privacy will often occur when windows of habitable room windows look into or overlook a principal window belonging to a habitable room of a neighbouring dwelling. A loss of privacy can also occur when windows look into or overlook private gardens belonging to a neighbouring dwelling.

The Council will not normally protect privacy to windows to non habitable rooms, secondary, high level and obscure windows or where windows have been added to the original dwelling under permitted development rights. In assessing the effect of an extension on privacy and overlooking, the individual circumstances of the property will be taken into account.

The following general guidelines will be considered when considering the effect on neighbouring privacy:

Windows to habitable rooms at ground level should not allow unrestricted views into the original principal habitable room windows of neighbouring dwellings or their private garden areas (where reasonable).

Windows to habitable rooms at first floor level should not allow unrestricted views into the original principal habitable room windows of neighbouring dwellings, and should be arranged so that direct overlooking of their private garden areas is minimized (where reasonable).

Attention here should be paid to the separation distances contained below.

Extensions and conservatories sited along or close to a boundary should avoid windows that overlook neighbouring properties.

Balconies etc on upper floor levels, should be avoided near to a neighbouring property where they may invade privacy, otherwise they should be sited or screened so as not to cause serious overlooking.

In considering proposals for extensions, the Council will give careful consideration to individual circumstances including screening and separation potential. Solutions to a privacy problem may include boundary screening such as a wall or fence, the use of obscure glazing high level windows (locating windows above eye level – 1.7m above internal floor level).

Table 2 Separation distances

DWELLING HEIGHT	STANDARD
For 1-2 storey dwellings	
Between habitable room windows on the public or street side of dwellings	21 metres
Between habitable room windows on the private or rear side of dwellings	25 metres
Between habitable room windows and a blank elevation, elevation with non-habitable rooms or with high level windows	12 metres
For 3 + storeys:	Add 3 metres per storey to the above distances
<i>Habitable rooms include lounges, living rooms, morning rooms, dining rooms, bedrooms, kitchens, play rooms, studies, conservatories, and any other rooms where occupants spend significant amounts of time.</i>	

5.2.2 Daylighting and Outlook

An extension which is sited close to a window belonging to a habitable room of a neighbouring dwelling or its private garden area, can create a poor living environment for the occupier in terms of overshadowing and intrusiveness.

Most extensions are likely to cause some degree of shadowing, it is the position of the extension relative to the path of the sun (orientation), combined with its height, shape and massing which, will determine the amount of shadow that will be cast.

An extension to a property should not harm a neighbouring occupiers' daylight to an unacceptable degree. When assessing this, the impact of the proposal on the amenity of the dwelling as a whole will be considered. Particular attention will be given to protecting principal habitable room windows (see table 2 above). The Council will not normally protect daylight to secondary, high level and obscure windows or where windows have been added to the dwelling under permitted development rights.

The following general guidelines will be considered when assessing the effect on daylight and outlook:

Overshadowing should be minimised. Extensions should not unduly reduce the amount of daylight or natural sunlight entering the original, principal habitable room windows of neighbouring dwellings.

The bulk, height and overall massing of an extension along or adjacent to common boundaries should be kept to a minimum. Original principal habitable room windows should not be made to look out directly onto two storey side elevations of extensions.

5 General Design Principles

Single storey rear extensions should not normally project more than 3 metres along or adjacent to a common boundary close to a window belonging to a habitable room of a neighbouring dwelling.

Two storey rear extensions along or adjacent to common boundaries should be avoided, even more so on the south facing side. This form of development will only be acceptable if it can be demonstrated that it will not result in an unacceptable loss of daylight or outlook to neighbouring properties.

6 Planning and Design Considerations

6.1 Front extensions / porches

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

Extensions to the front of a property can often have the greatest visual impact.

Front extensions should:

- Leave sufficient space between the extension and the front boundary of the house to retain the appearance of openness around the dwelling.

- Not be obtrusive, prominent features in the streetscene.

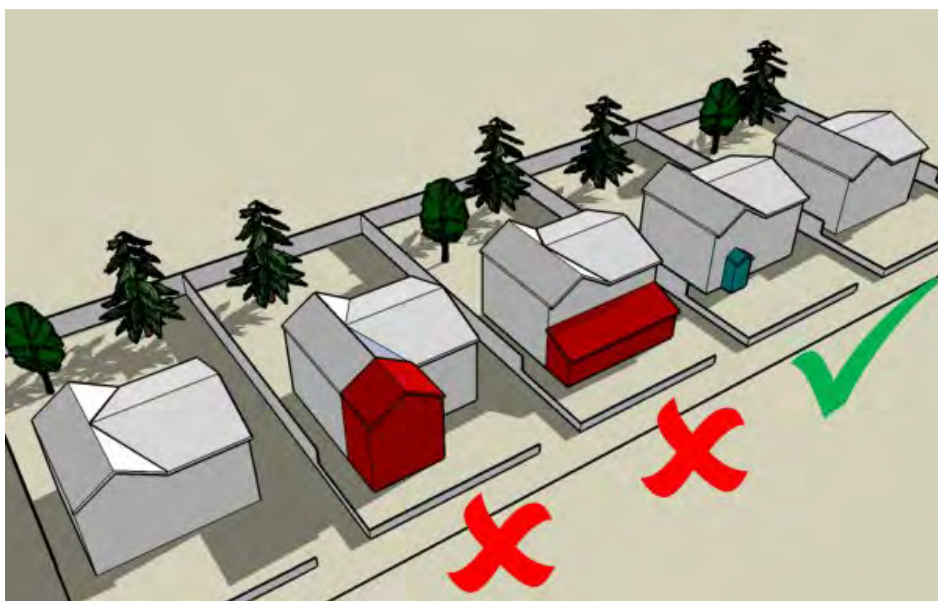
- Respect the size and proportions of the existing house.

- Respect the architectural features, brickwork, stonework, colour and texture of the existing house. Front porches usually look best where the materials, glazing pattern and degree of roof pitch, match the existing house.

- Not unduly affect neighbours amenity.

Where there is a strong building line or an architectural cohesiveness to the street which would be broken, front extensions are unlikely to be acceptable.

Figure 1 Front extensions



6 Planning and Design Considerations

6.2 Side extensions

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

A side extension is often the most desirable way of extending a house as it provides additional floorspace in an area which is generally considered to be of less functional value than a rear garden. It does however raise more issues than a rear extension as it is normally visible from the street.

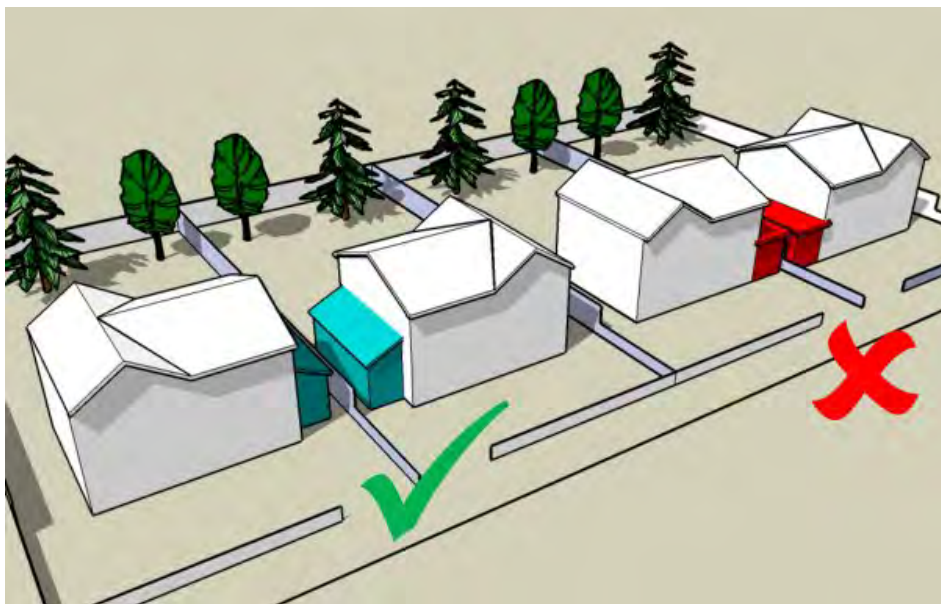
6.2.1 Single storey side extensions

A single storey side extension should:

Respect the form and design of the existing dwelling with a roof design that complements the existing appearance.

Flat roofs are generally unlikely to be acceptable, an exception to this could be the provision and retention of a green roof. This provides ecological / wildlife benefits and is a form of development that is generally encouraged. For more information see the 6.10 'Sustainability and Energy' Section.

Figure 2 Single storey side extensions



6.2.2 Two storey side extensions

A two storey side extension should:

Respect the form and design of the existing dwelling with a roof design that complements the existing appearance.

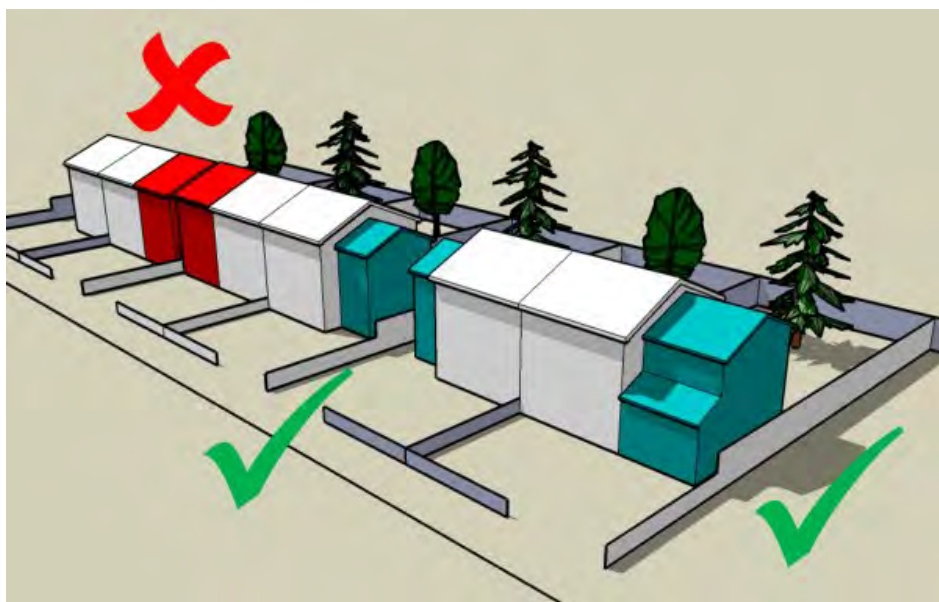
Ideally appear subservient to the main dwelling with the ridge level of extensions set below the main ridge line of the original house.

A linked or infill effect between neighbouring dwellings should be avoided by leaving a visibly adequate gap between the boundary and the side wall of the extension. Whilst it is necessary to consider each situation individually, the Council is concerned that where two storey side extensions are proposed to homes in areas of mainly detached or semi detached housing the character should not be lost through terracing extensions. In such areas houses should not be physically or visually linked, particularly at first floor level.

In these instances:

Two storey side extensions should be set back from the front of the property by a minimum of one metre behind the front main wall of the house, or by 1 metre from the side boundary. The joining up of detached or semi detached properties can also result in future maintenance difficulties.

Figure 3 Two storey side extensions



First floor set back by 1 metre or extension set in 1 metre from the boundary

In all instances sufficient space should be provided between the front of the extended house and the public footway. For further information please refer to the 'External surfacing and car parking' section

6 Planning and Design Considerations

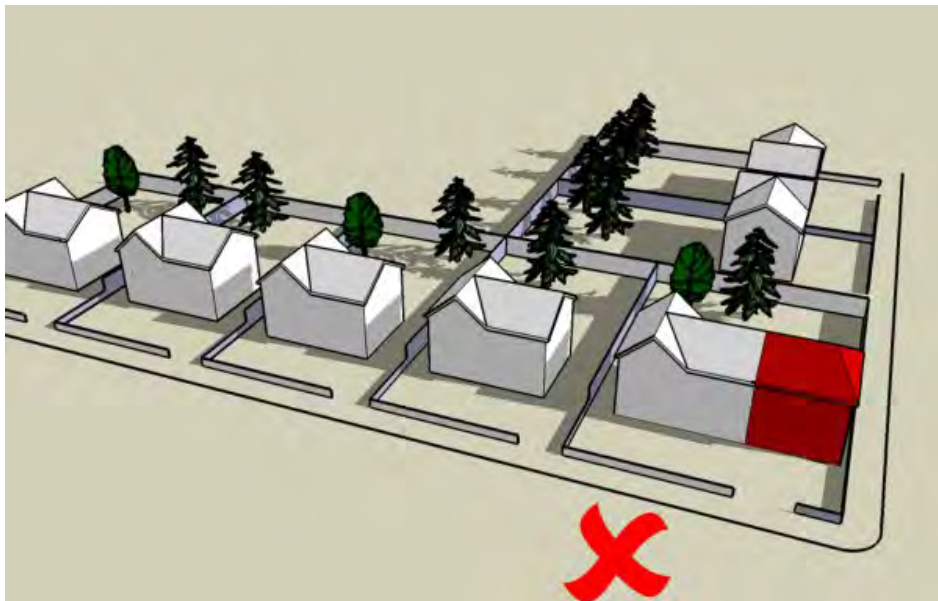
6.2.3 Side windows on neighbouring properties

As stated in the 'Privacy Standards / Amenity' part of the 5 'General Design Principles' section it is beneficial to provide 12 metres between habitable room windows and a blank elevation. There may though be some instances where a neighbouring property has a principal, original habitable room window in a side elevation facing the side of a neighbouring dwelling house and this distance is significantly less than 12 metres. In this instance each proposal will be treated on its own merits to assess whether the further reduction in separation would have a materially harmful impact on the outlook from that window to justify a refusal of the development.

6.2.4 Corner Plots

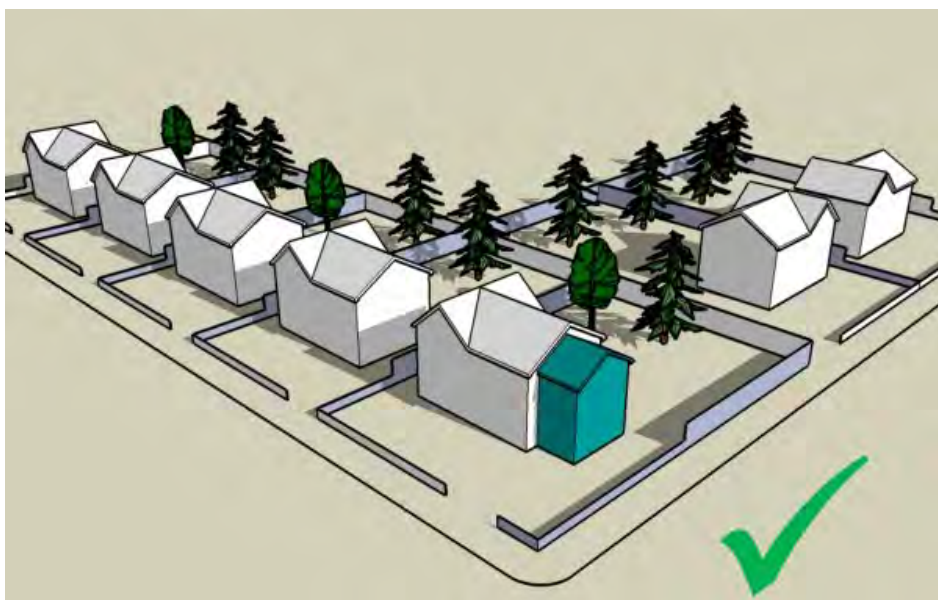
Extensions on corner properties between the side of the house and the side boundary may look obtrusive where they extend beyond the front of the building line on the side road. In addition, an extension which comes too close to the side boundary will spoil the spaciousness which is created by open areas which 'wrap around properties'. Individual circumstances will influence the acceptability of such extensions, but usually at least half the available width between the side of the house and the side boundary with the road should be retained.

Figure 4 Poor side extension on a corner plot



In the above example the extension would appear very prominent, it would take up most of the space between the house and the side boundary and it would project some way forward of the properties on the side road.”

Figure 5 Good side extension on a corner plot



6 Planning and Design Considerations

6.3 Rear extensions

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

Rear extensions are sometimes visible from public areas and may be prominent for neighbours to the side and rear. Wall and roof materials should match those of the existing property. Rear extensions should respect the shape and form of the existing dwelling with a roof design that complements the existing appearance. As discussed with side extensions, flat roofs are generally unlikely to be acceptable, an exception to this could be the provision of a green roof. For more information see the '6.10 'Sustainability and Energy' section.

In determining planning applications for rear extensions (including conservatories) the most common problem is the affect on the amenities of neighbouring properties. Poorly designed or overly large extensions can cause a loss of outlook, overshadowing or an overbearing impact to neighbouring properties.

To avoid such an impact (on a terrace or semi detached properties) a **single storey rear extension** should take account of the following:

Project no further than 3 metres along a party boundary close to a habitable room window of a neighbouring property.

At the point of 3 metres it may be possible to introduce a 45 degree splay to allow a slightly greater projection. (see figures 6 and 7 below)

Not allow unrestricted views of neighbouring properties. Any side windows, particularly on conservatories should either be obscure glazed, high level or screened by a fence of appropriate height.

Figure 6 Single storey rear extension

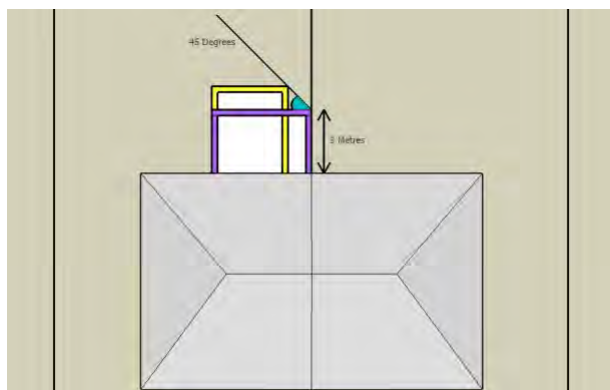
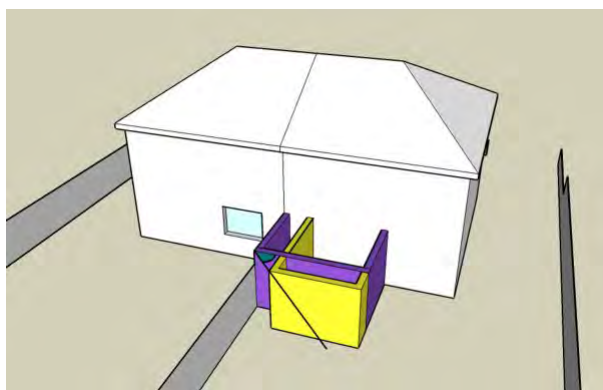


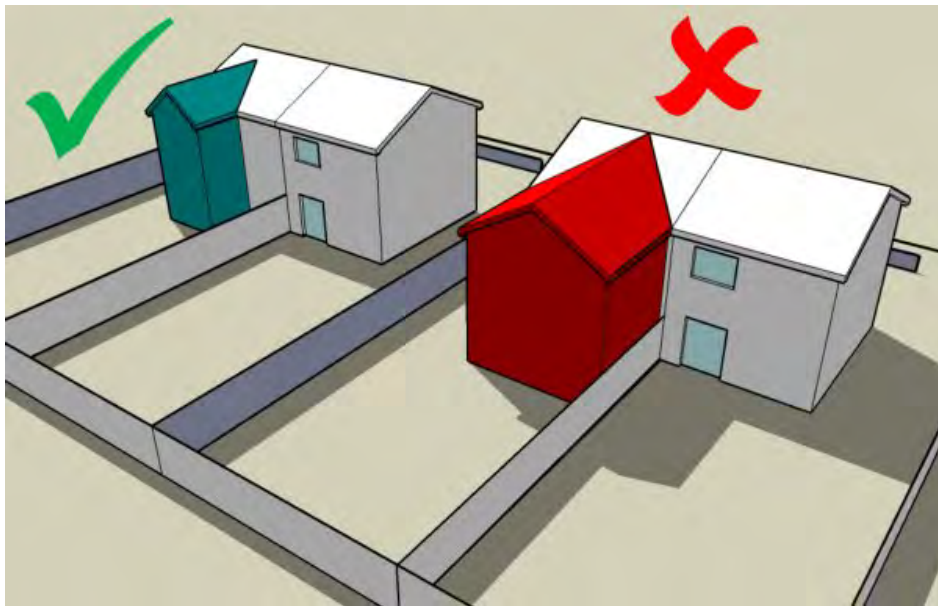
Figure 7 Single storey rear extension



Two storey rear extensions

Where a **two storey** rear extension or **first floor** rear extension is proposed, these should be avoided where they would be sited adjacent to a party boundary, particularly on the south facing side. Individual circumstances will influence the acceptability of such extensions but ideally they should be sited away from the boundary to ensure the outlook of neighbouring properties is not overly harmed and an unacceptable loss of daylight is not experienced.

Figure 8 Two storey rear extensions



For information regarding privacy and separation distances between properties please see the 'Privacy Standards / Amenity' part of the 5 'General Design Principles' section.

6 Planning and Design Considerations

6.4 Upward extensions

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

Extensions which would result in the increased height of a property, through the provision of extra storeys, often raise additional planning concerns to other forms of extension. Their effect on neighbourhood amenity and the street scene is usually more significant. In determining proposals for upward extensions the most satisfactory design solution will depend on the individual character of the property and neighbouring properties. This form of development will normally only be appropriate on detached properties in residential areas of varied design and roof height.

Where an upward extension is acceptable in principle, it must respect the established character of the area. The emphasis should be on height, massing, use of materials and roof pitches, which complement both the original house and the locality. Extensions which cause an unacceptable loss of privacy or outlook to neighbouring properties, or look out of keeping with the character of the street, will be refused.

6.5 Roof extensions / dormers

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

A number of dormer roof extensions to the rear of properties are now likely to fall under permitted development and therefore may not require permission. Those which do require permission should follow the following guidelines.

A dormer at the rear of the house is usually more acceptable than one at the front as it will be less readily seen by the public. Exceptions may occur where such features are typical of the local area.

Dormers should:

- Be designed to be in proportion to the roof and set into the roof slope so that they are not a dominant feature, small dormers set below the existing ridge line are likely to be more acceptable.

- Have a pitched roof, flat roof dormers added to pitched roofs look out of place and are generally unacceptable.

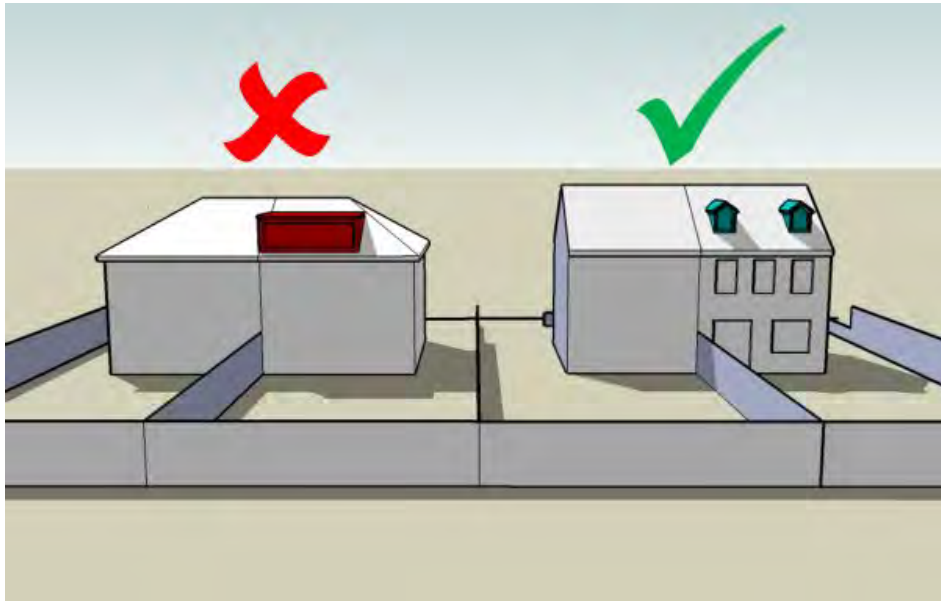
- Echo the window design and attempt to align vertically with the fenestration below.

- Be constructed from materials to match the existing roof. i.e clad in tiles / slates matching the colour and texture of the existing roof. Dormers clad in UPVC or board are unlikely to be acceptable.

- Not result in undue overlooking of a neighbouring property.

6 Planning and Design Considerations

Figure 9 Dormers



Dormers should form part of the roof instead of dominating the roof scene as is evident in the right hand example above.

It should be noted that some houses have limited roof space due to a shallower pitch which may mean they are incapable of providing this type of extension. In these instances an unacceptably large dormer would be required to provide the adequate floor to ceiling heights.

Hip to gable roof extensions

Where planning permission is required for a hip to gable roof extension, this is unlikely to be appropriate in areas where hipped roofs predominate due to the adverse impact on the street scene this may cause.

6.6 Detached Buildings

CDH1.1 New Residential Development in Predominantly Residential Areas

CDH1.8 Residential Extensions

DCD1 Design and Character

DCD1.1 Design Principles

Garages, carports and other outbuildings can have a similar effect on the amenities of neighbours as other extensions. Where planning permission is required for this form of development, detached buildings should in general:

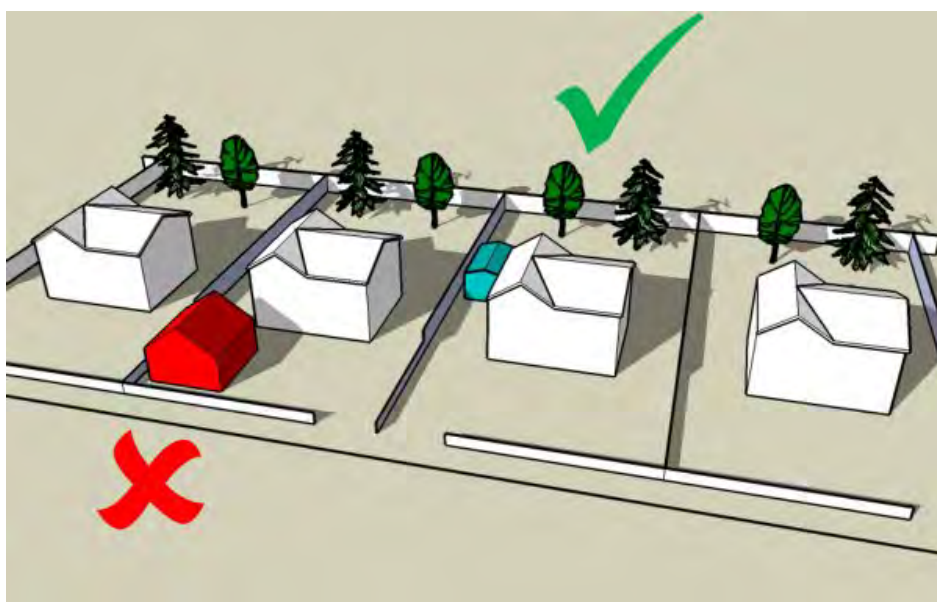
Be sited as so as not to affect neighbouring amenity or street scene. Buildings between a house and a road in most cases are likely to appear as prominent features and should generally be avoided.

Be of an appropriate scale and appear clearly subordinate in relation to the main house.

Be appropriately designed, pitched roofs will be encouraged on all buildings, flat roofs should generally be avoided, an exception to this may be the provision of a green roof. For further information see the '6.10 'Sustainability and Energy" section.

Respect the type, colour and texture of materials used in the original house.

Figure 10 Detached outbuildings



6 Planning and Design Considerations

6.7 External surfacing and car parking

CDH1.1 - New Residential Development in Predominantly Residential Areas

CDH1.8 - Residential Extensions

DCD1 - Design and Character

DCD1.1 - Design Principles

TD1.4 - Parking in Developments (+ Appendix 9)

TD1.6 - Accessibility and the Design of Development

When the Council assesses a proposal for an extension or alteration to a dwelling, it needs to ensure that the proposal does not adversely affect the site's arrangements, that an adequate level of car parking will be provided for the dwelling, that the parking arrangements will prove safe and practical to use and that suitable facilities for the turning and manoeuvring of vehicles will be provided or retained. Many proposals also involve changes to a site's access arrangements, such as the widening of a driveway or the construction of a replacement access. If this is proposed, the Council will need to ensure that the revised access arrangements will also prove safe and practical.

When considering a proposal that affects a site's access arrangements, parking and turning facilities, the Council will take into account the nature of the road and the speed, volume and type of traffic using the road to which access will be gained from.

The visual impact of creating vehicle hardstanding and altering frontages will also be given due consideration. Where necessary the Council will look to protect and retain existing frontages (e.g front walls / hedges) and front garden areas due to the contribution that they make to the character of an area.

Car Parking

For extensions which involve the conversion of an existing garage to living accommodation and / or the loss of some or all of a private driveway consideration will need to be given to providing appropriate car parking within the curtilage of the dwelling. The Council currently operates a maximum general parking provision (see UDP Review policy TD 1.4 appendix 9) and usually a maximum provision of two spaces is considered acceptable (1 in Town Centre/accessible locations) in new development. Applications will be considered on their own merits but as a general rule when extending your house, one space convenient to the dwelling will be acceptable.

Dimensions

Parking spaces need to be 5.0m by 2.4m in size and space also needs to be provided around the space to enable people to get in and out of a vehicle and to enable pedestrians to pass.

If the extension is to incorporate a garage or if a separate garage is proposed (for parking) then the following internal dimensions are recommended:

With cycle parking: 6m by 3.6m.

Car only: 6m by 3m

Driveway length

Where an extension or garage will reduce the length of an existing driveway, a minimum driveway length of 5.5 metres should be retained between the front wall of the extension or garage door and the back of the public footway. This is to ensure that sufficient space is provided to enable a vehicle to park without projecting into / obstructing the highway and provide sufficient space for pedestrians to walk around the vehicle. This distance may be reduced to a minimum of 5.0 metres if there is no need for pedestrians to walk around the vehicle and, in the case of garages, the garage doors to be provided do not project forwards of the front main wall of the garage when being opened or open (e.g. if roller doors are to be installed).

Turning / manoeuvring: Proposals should ensure that adequate room is provided / retained within sites to enable a vehicle to enter, manoeuvre, park, and leave safely. If the dwelling takes access from a main road, busy rural lane, or its access is close to a bend, adequate turning space should be provided / retained within the curtilage of the dwelling so that vehicles can turn within the site and do not have to reverse on or off the highway

Dropped crossings

A dropped kerb will be required to access off street parking spaces. Approval under the Highways Act 1980 from the Highways Maintenance section of this Division should be sought prior to works commencing on site. Dropped kerbs on to a classified road will also require planning permission. In these instances adequate manoeuvrability should be provided (as described above) to allow a vehicle to enter and exit the site in a forward gear. For further information regarding classified roads please see the Planning pages of the Council's website or contact the planning department (highways engineer - see appendix A).

Access

If a proposal involves changes to a site's access arrangements, such as the widening of a driveway or the construction of a replacement access, the access should be designed so that vehicles can safely and practically enter and exit the site. An appropriate level of visibility will need to be provided at the access. Information on visibility requirements is included in the Council's 'Transport and Highways in Residential Areas' SPD.

Permeable surfaces

Any proposal to pave over a front garden will require careful consideration. The loss of a front garden to car parking can be visually harmful but also may increase the risk of flooding. The drains in most urban areas were built many years ago and were not intended to cope with increased rainfall. More water is entering the drains due to newer development and paving front gardens only adds to the problem. Though you may think that paving your front garden will not make a difference, it is the combined effect of lots of people in a street or area that can increase the harm.

For any new or replacement driveway (or any area of hardstanding where planning permission is required) you should aim to use permeable or porous surfacing which allows water to seep through, such as gravel permeable concrete block paving or porous asphalt. Alternatively rainwater can be directed to a lawn / garden bed soakaway to drain naturally.

6 Planning and Design Considerations

Further information can be found in the document entitled 'Guidance on the permeable surfacing of front gardens' (published by Communities and Local Government and Environment Agency). See <http://www.communities.gov.uk>

6.8 Heritage Assets: Conservation Areas and Listed Buildings

6.8.1 Conservation Areas

HC1 Conservation Areas

HC1.3 Special Control of Development in Conservation Areas



Conservation Areas are areas of special architectural or historic interest where it is desirable to preserve or enhance the character or appearance of that area. In addition to the quality of buildings, there are many other factors which contribute to the value of a conservation area – the historic layout of roads, public spaces, parks, trees, street furniture, street surfaces, views and vistas – these are all significant contributors to the appearance of an area and give it its special character.

Within Stockport there are currently 37 Conservation Areas. There is a wealth of information available on the Council's website including Conservation Area Appraisals profiling the special character and appearance of these areas.

Planning controls within Conservation Areas are stricter than for other areas and buildings. When dealing with planning applications the 'test' is to consider whether planning applications preserve or enhance their character or appearance.

Extensions should be designed to specifically preserve or enhance the character of the Conservation Area. All extensions should respect and complement the architectural and historic character of the original house. Special attention should be given to matters such as siting, scale, height, massing, detailed design and the appropriate use of materials. It will generally be necessary to use specialist building techniques, traditional materials and comparable architectural detailing which reflect the special quality of the building and surrounding area.

Attention should also be given to the preservation of spaces and views between buildings, as these often contribute greatly to the special character of an area. The loss of front gardens to hardstanding / car parking will generally be discouraged and the Council will look to retain soft landscaping and trees in front garden areas due to the visual contribution to the character of an area they make. Front boundary walls, railings, gates and gateposts also make a valuable contribution to the character of an area and should be preserved where appropriate. It will usually be necessary for any new boundary treatments, gates, gatepost to respect the original character, height and materials of the frontage to the property and those in the surrounding streetscape.

6 Planning and Design Considerations

Due consideration here will also need to be given to ensure that any changes are safe and practical in terms of highway safety, please refer to the Car parking and external surfacing section.

It is strongly recommended that you discuss your proposals with the Council Conservation Officers / Development Management Team prior to submitting an application. Please see 'Appendix A - Officer Contacts'.



6.8.2 Listed Buildings

HC2 Listed Buildings

HC2.1 Development Affecting Listed Buildings

HC2.5 Development Affecting Buildings of Local Interest

In view of their unique nature, it is not possible to give general advice upon the extension of Listed Buildings. All alterations or extensions to Listed Buildings will require specific consideration in accordance with Policy HC2.1, "*Development Affecting Listed Buildings*", and proposals will be expected to preserve the special architectural or historic character, appearance and setting of those buildings.

Design and Access Statements

In August 2006, the Government introduced a requirement for planning applications for house extensions within Conservation Areas to be accompanied by a Design & Access Statement.

Stockport's guidance on the preparation of Design and Access Statements is available on the Planning & Building pages of the Council website and further guidance can be downloaded from the CABI (Commission for Architecture and the Built Environment) website - <http://www.cabi.org.uk/publications/design-and-access-statements>. Consideration should also be given to the requirements outlined in PPS 5: Planning and the Historic Environment.

6 Planning and Design Considerations

6.9 Green Belt

GBA1 Green Belt Protection

GBA1.2 Control of Development in Green Belt

GBA1.5 Residential Development in Green Belt

Almost 45% of Stockport Borough is green belt and parkland. Green Belts make a major contribution to the attractiveness of Stockport as a place to live, work and spend leisure time. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the most important attribute of Green Belts is their openness. Green Belts have been an essential element of national planning policy since 1955 and accordingly new development is subject to special restrictions.

There is a presumption against inappropriate development within the Green Belt and categories of development which will normally be permitted are very limited. Whilst the Council aims to allow for the reasonable requirements of existing homeowners for the provision of additional space, it is the safeguarding and protection of the openness of the Green Belt which is paramount.

Applications for extensions (including outbuildings) within the Green Belt will be strictly controlled. All applications will be treated on their individual merits. However proposals where the scale, character and appearance of the property would be significantly changed are likely to be refused. Extensions which increase the original volume of the original dwelling by more than about one third are unlikely to be acceptable, in calculating this volume the cumulative effect of any previous extensions will be taken into account. Large parts of the Green Belt and Countryside are also considered to be areas of special landscape and environmental quality and the Council will expect particularly high quality designs and materials in such locations.



6.10 Sustainability and Energy

MW3 Energy Efficiency

It is now widely accepted that climate change is the biggest threat to human kind. In the UK it is estimated that buildings produce 50% of total carbon dioxide emissions and consume half of the nations' energy requirements. Incorporating sustainable design and construction methods even for a household extension can assist in reducing the harmful impacts of buildings and contribution to reductions in the rate of climate change.

Policy MW 3 encourages the consideration of energy efficiency and non fossil fuel options in all new development proposals. When planning your extension it would be worthwhile considering the viability of energy efficient design, low and zero carbon and renewable energy options.

Stockport MBC have also produced the Sustainable Design and Construction SPD, see <http://www.stockport.gov.uk/planningsustainabledevelopment>, which provides further information in this respect. The Energy Design Guidance download has up to date information on low carbon design resources.

The following sections provide guidance on a number of options worth considering as part of the development process.

Materials and Labour

First of all you should consider using appropriate, recycled, carbon neutral, locally sourced materials where possible. The sustainable design and Construction SPD provides a wealth of information in this respect. Due consideration should also be given to the use of local skills and labour.

Using energy wisely

Whilst you are in the process of improving / extending your home or before you install a renewable energy system you should investigate whether the energy efficiency of your property can be improved. Simple and effective measures include:

- Installing additional loft insulation
- Installing cavity insulation where appropriate
- Installing additional insulation underneath floorboards
- Installing secondary glazing to existing single glazed windows and doors
- Installing flue dampers in open chimney flues
- Draught proofing windows and doors
- Upgrading roof lights
- Upgrading your boiler, heating controls and hot water cylinder

The following simple measures can also make big savings to your energy use and fuel bills:

- Using energy efficient light bulbs
- Turning off all appliances that are not in use and not leaving them on standby settings

6 Planning and Design Considerations

Checking that your central heating is not programmed to heat the house while you are not there

Using heavy curtains over single glazed windows and ensuring all curtains are closed at night

Fitting individual heating control to each radiator and only heat the rooms you use

Making the most of nature - passive solar design, natural ventilation and daylight.

Passive solar design: This design approach allows for the exploitation of solar heat gain and maximum use of natural daylight. If you are extending your home or converting your loft, this can be designed to make the most of the sun's energy.

Good orientation and layout allows you to make the most of sunlight both for warming extensions and providing natural light to rooms.

You should try where feasible in line with other planning considerations to orientate your extension to the south where possible. Rooflights and windows on south facing elevations can also bring more daylight and free warmth into your home.

Considering these approaches can decrease the energy demand for the building whilst helping to reduce your energy bills.

Natural ventilation: To complement passive solar design, maximum use should be made of natural ventilation, rather than mechanical or air conditioning systems, further reducing the energy demand within the building, as well as offering a healthier option for managing indoor air quality.

Renewables and micro generation

Part 40 of the GPDO

The installation of certain micro-generation equipment on a dwellinghouse or outbuilding is now likely to be considered permitted development under planning law with no need to apply for planning permission. However there are important exceptions and conditions which must be met.

Micro-generation equipment which may benefit from permitted development rights include:

- Solar Photovoltaics (PV)
- Stand Alone Solar PV
- Ground source heat pumps
- Water source heat pumps
- Flue forming part of biomass heating system
- Flue forming part of a combined heat and power system

Further information is available on the planning portal website and you are advised to contact the Planning Office for advice. Properties in Conservation Areas are more restricted and the installation of renewable energy systems to listed buildings will require listed building consent.

If you require a confirmation from the Council that your proposed installation does not require planning permission you should submit a lawful development certificate.

Green Roofs

A green roof is composed of various layers that create an environment suitable for plant growth that does not damage the fabric of the building. This converts the wasted roof area into viable green space for the benefit of biodiversity. Green roofs help regulate water flow from a roof by slowing down the flow rates. They also present a valuable wildlife resource and even help control the temperature of the building beneath. For further information about the benefits of installing a green roof, see the links below.

Picture 1 Example of a green roof



If you are thinking of installing a green roof then you should contact the Planning Office or the Health and Environment Advisor (Planning) for advice.

6 Planning and Design Considerations

Links

Further information regarding green roofs is also available at:

<http://www.livingroofs.org>

<http://www.greenroofstoday.co.uk>

Further useful information on climate change, sustainable construction and energy saving techniques can be found via the following web links:

<http://www.energysavingtrust.org.uk>

<http://www.climatechallenge.gov.uk>

<http://www.sustainable-development.gov.uk>

Ways to save energy if you own or manage an older home:

<http://www.climatechangeandyourhome.org.uk/live>

Energy Saving Trust Advice Centre: **0800 512 012** - provide free independent government funded advice.

6.11 Trees and Landscaping

NE 2 Tree and Woodland Promotion

NE 2.1 Tree and Woodland Protection

In determining planning applications, the Council will consider the impact of an extension upon trees and landscaping. The Council is keen to conserve garden trees and other natural landscaping features which make an important contribution to public amenity and the environment.

Many trees are covered by Tree Preservation Orders (TPO's) and Conservation Area designation. It is an offence to top, lop, fell or otherwise damage these trees, subject to a few minor exceptions, without first gaining the consent of the Local Planning Authority. The Council's Arboricultural Officer / Planning Staff should be contacted for advice on what work is permitted and whether or not a tree is legally protected in this way.

The British Standards Institute (BSI) has published a guide entitled "Trees in Construction" known as BS 5837:1991. This provides further information and guidance on protecting trees during construction, what measures to ensure that buildings are not damaged by trees and advice as to the choice of trees for new planting in relation to buildings.

6 Planning and Design Considerations

6.12 Protected Species

NE1 Biodiversity and Nature Conservation

NE1.6 Species Protection

Species such as bats, which use roof spaces as roost or hibernation sites, and birds which nest under the eaves of buildings are protected from harm by law. Applications for developments that involve the modification, conversion, demolition or removal of buildings and structures (especially roof voids) and, any work involving disturbance to trees or hedges may have an impact upon protected species. If the presence of bats or birds is suspected then an application may need to include a survey report, together with details of mitigation measures to safeguard the protected species from the adverse effects of the development.

The Council may impose planning conditions or obligations on planning permissions to ensure that these measures are implemented. Such measures may simply include, for example, avoiding carrying out any work during the bird breeding season, or the inclusion of artificial nest boxes as part of the development. The Council may refuse permission for developments where inadequate survey and mitigation details are included with an application.

The requirement for a protected species survey is outlined in the application validation checklist.

For further information please contact the Councils' Nature Development Officer.

Information is also available at Natural England's web site: www.naturalengland.org.uk

Appendix A - Officer Contacts

Development Management

Manager: 0161 474 3542

Planning Officer contacts: 0161 474 3549 / 3659 / 3622.

Other Officers:

Highways Maintenance: 0800 068 4996

Health and Environment Advisor (Planning): 0161 474 4385

Arboricultural Officer: 0845 833 4444

Highways Engineer: 0161 474 4905 / 4906.

Conservation Officer: 0161 474 2620.

Planning policy: 0161 474 3526

Building Control: 0161 474 3559

Nature Development Officer: 0161 474 4560

Appendix B - Glossary

Amenity: Two fold;

Impact on visual amenities: This concerns the visual impact of an extension on the established character and appearance of the existing dwelling, street scene or the surrounding area.

Impact on residential amenities: This relates to matters of overlooking, overshadowing, loss of privacy, visual intrusion/impact or loss of attractiveness.

Building line: The line formed by the front of buildings along a street.

Conservation Area: Areas of special architectural or historic interest.

Context: The characteristics of the built and landscape form as well as land uses etc. that surround a given site / building – the setting. Context (or site and area) appraisal

Curtilage: Generally an enclosed area of land around a dwelling (e.g. the garden around a house).

Dwelling: A self contained building or part of a building used as a residential accommodation and usually housing a single household. A dwelling may be a house, bungalow, flat, maisonette or converted farm building.

Form: The layout density, scale, appearance and landscaping of development.

Habitable room: The main living areas within a dwelling. Includes lounges, living rooms, morning rooms, dining rooms, bedrooms, kitchens, play rooms, studies, conservatories, and any other rooms where occupants spend significant amounts of time.

High level window: 1.7 metre above internal floor level

Highway: Often used to describe a road / street but can be defined as an area over which the public can pass or re-pass.

Layout: The way buildings, routes and open spaces are placed in relation to each other.

Listed Building: A building or structure identified by English Heritage as being of special architectural or historic interest. There are three categories of listing: Grade 1 (the highest quality), Grade II* and Grade II.

Locally listed building: There are many fine buildings, structures and sites which whilst not justifying listed status are of local interest and which are valuable architectural and heritage features which so far as possible should be retained and enhanced.

Massing: The combined effect of the height, bulk and form of a building or a group of buildings.

Obscure Glazing: Sometimes known as opaque glazing or frosted glazing. Obscure glazing should conform to Pilkington Texture Glass Levels 4 or 5 or the equivalent from any other manufacturer. Obscure glazed windows will usually also be required to be non opening unless over 1.7m internal floor level.

Permitted Development: A permission to carry out development, granted by Schedule 2 of the Town & Country Planning (General Permitted Development) Order 1995, without the need to make a planning application.

Scale: The relationship between the height, width and depth of a building. The impression of a building when seen in relation to its surroundings, or the size of parts of a building or its details. Sometimes it is the total dimensions of a building which give it its sense of scale: at other times it is the size of the elements and the way there area combined.

Street scene: The visual character of a street as determined by the design, arrangement and relationship of buildings, other structures, views and open space / greenery.

Appendix C - Validation Checklist

Appendix C - Validation Checklist

NATIONAL: Compulsory requirements for your application	Please indicate
The Completed Householder application forms. The original plus 3 copies unless the application is submitted electronically.	YES/NO
A Location Plan preferably to a scale of 1:1250 identifying the site. The plan should indicate at least 2 roads where practicable, show surrounding buildings and indicate the direction of north. The application site must be clearly edged in red and any other land adjacent owned by the applicant in blue. The original plus 3 copies unless the application is submitted electronically.	YES/NO
A copy of other plans, drawings and/ or information necessary to describe the subject of the application [the original plus 3 copies to be supplied unless the application is submitted electronically] including: Block Plan of the site at a scale of 1: 100 or 1: 200 showing any site boundaries, type and height of boundary treatment, the position of any building or structure on the other side of such boundaries. Existing and proposed floor plans at a scale of 1:50 or 1:100 Existing and proposed elevations at a scale of 1: 50 or 1:100. Existing and proposed site sections and finished floor and site levels at a scale of 1:50 or 1:100 Roof plans at a scale of 1:50 or 1:100	YES/NO YES/NO YES/NO YES/NO YES/NO
The completed Certificate of ownership [A, B, C or D] as required by Article 7 of the Town and Country Planning [General Development Procedure] Order 1995.	YES/NO
In addition where Ownership Certificates B, C or D have been completed Notice as required by Article 6 of the Town and Country Planning [General Development Procedure] Order 1995 must be given and/or published in accordance with this article.	YES/NO
Agricultural Holdings Certificate as required by Article 7 of the Town and Country Planning [General Development Procedure] Order 1995	
Design and Access Statement is not required unless the site is within a Conservation Area. Guidance on the preparation of Statements is available on the website and paragraph 5.10 of the main checklist. Contact details including the website are below.	YES/NO

Appendix C - Validation Checklist

Application fee paid unless the application is exempt. Fee for a Householder application is £150 as at 6-April-2008.	YES/NO
LOCAL: additional information that may be required for your application	Please Indicate
Supporting Planning Statement A statement provides an opportunity to present the applicants case and can be useful if the issues are complex or potentially controversial. See paragraph 6.4 of Main Checklist Report for details	YES/NO
Referencing of Plans, Drawings etc All plans and drawings submitted with the application shall be referenced for identification purposes see Appendix 4. References should describe/ name the document [e.g. site plan, elevation etc] and be prefixed with a maximum 8 character alpha/ numeric.	YES/NO
Parking and Access arrangements: Parking and access arrangements both existing and proposed provision preferably on a site/ block plan scale 1:200.	YES/NO
Tree survey/Arboricultural implications Existing trees on site could have significant implications for the development and the long term retention of the tree(s). See paragraph 6.11 of the main checklist for details.	
Heritage Statement: The statement would include the impact of the development, including any demolition, on the character and appearance of the Listed Building and/or Conservation Area. See the website and paragraphs 6.32 of Main Checklist Report for details	YES/NO
Flood Risk Assessment Does the development have an impact on Flood Prevention? See paragraph 6.21 of Main Checklist Report for details and the website for Development Plan Policy.	YES/NO
Land Contamination Assessment Protective measures may need to be taken where the development is close to an existing or former landfill site. Investigations may need to be	YES/NO

Appendix C - Validation Checklist

undertaken and remedial action carried out when a site is contaminated or contamination is suspected. See paragraph 6.24 of the Main Checklist Report for further details.	
Airport Safeguarding detail It is important to protect air corridors, navigational aids and other aviation safety features from inappropriate development. Paragraph 6.18 of the Main Checklist Report indicates the details required and when this is necessary.	YES/NO
Biodiversity Survey and Report: Does the application involve work to roof spaces and/ or architectural features such as soffit boards, barge board, tiles or cladding? If yes a bat survey may be required, for details see Appendix 6.	YES/NO
Statement of Community Involvement: Provide details of any pre-application discussion held with the Council and/ or people who have been consulted on the possible impact the proposal might have. More details are available at paragraph 6.3 of the main checklist	YES/NO

Appendix D - UDP Review policies superseded by Core Strategy

Appendix D - UDP Review policies superseded by Core Strategy

The table below shows the UDP Review policies that will be superseded on adoption of the Core Strategy. It is intended that the core strategy will be adopted in Spring 2011. Upon adoption the Extensions and Alterations to Dwellings SPD will be updated and readopted to support and reinforce the policies contained in the Core Strategy. It is intended that the SPD will be readopted within 1-2months of the Core Strategy adoption.

Table 3 Table of policies to be superseded by policies in the Core Strategy.

Policy No.	Policy Name
CDH1	Development in Predominantly Residential Areas
CDH1.1	New Residential Development in Predominantly Residential Areas
CDH1.8	Residential Extensions
DCD1	Design and Character
DCD1.1	Design Principles
HC1	Conservation Areas
HC1.3	Special Control of Development in Conservation Areas
HC2	Listed Buildings
HC2.1	Development Affecting Listed Buildings
HC2.5	Development Affecting Buildings of Local Interest
GBA1	Green Belt Protection
GBA1.2	Control of Development in Green Belt
GBA1.5	Residential Development in Green Belt
TD1.4	Parking in Developments (+ Appendix 9)
TD1.6	Accessibility and the Design of Development
MW3	Energy Efficiency
NE 1	Biodiversity and Natural Conservation
NE 1.6	Species Protection
NE 2	Tree and Woodland Promotion
NE 2.1	Tree and Woodland Protection



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